FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Petitioner herein requests a special exception for a Class "B" office building on the subject property and a variance to permit a landscape buffer of 12 feet in lieu of the required 20 feet for a property line abutting a residentially zoned property, and 8 feet in lieu of the required 10 feet for a non-residential buffer, all as more particularly described on Petitioner's Exhibit 1.

The Petitioner appeared, testified and was represented by Lloyd J. Hammond, Esquire. Also appearing on behalf of the Petition was Paul Lee, Professional Engineer. There were no Protestants.

Testimony indicated that the subject property, known as 605 Reisterstown Road, consists of 1.309 acres more or less zoned R.O. and is presently vacant. Said property was the subject matter of previous Case No. 86-141-X in which a special exception for a Class B office building on the subject site was granted on October 17, 1985. Testimony indicated that the special exception expired prior to its utilization. Petitioner is desirous of developing the property with a two-story Class "B" office building as depicted on Petitioner's Exhibit 1. Testimony indicated that the proposed office building will contain approximately 20,000 sq.ft. of office space and will be of brick construction, consistent with the architectural scheme in this area.

Paul Lee testified that in his opinion, the Petitioner's request is consistent with the requirements of Section 502.1 of the Baltimore County Zoning Regulations (B.C.Z.R.). Additionally, Mr. Lee testified that should the requested variance relief be denied, the Petitioner would suffer an undue hardship and practical difficulty in view of the topography of the subject site. Mr. Lee also noted that Petitioner's request for a building containing 20,000 sq.ft. of office space is less than that originally approved in Case No. 86-141-X and, in his opinion, would have no detrimental impact on this community.

It is clear that the B.C.Z.R. permits the use proposed in a R.O. zone by special exception. It is equally clear that the proposed use would not be detrimental to the primary uses in the vicinity. Therefore, it must be determined if the conditions as delineated in Section 502.1 are satisfied.

The Petitioner had the burden of adducing testimony and evidence which would show that the proposed use met the prescribed standards and requirements set forth in Section 502.1 of the B.C.Z.R. The Petitioner has shown that the proposed use would be conducted without real detriment to the neighborhood and would not adversely affect the public interest. The facts and circumstances do not show that the proposed use at the particular location described by Petitioner's Exhibit 1 would have any adverse impact above and beyond that inherently associated with such a special exception use, irrespective of its location within the zone. Schultz v. Pritts, 432 A.2d 1319 (1981).

The proposed use will not be detrimental to the health, safety, or general welfare of the locality, nor tend to create congestion in roads, streets, or alleys therein, nor be inconsistent with the purposes

of the property's zoning classification, nor in any other way be inconsistent with the spirit and intent of the B.C.Z.R.

After reviewing all of the testimony and evidence presented, it appears that the special exception should be granted with certain restrictions as more fully described below.

Based upon the testimony and evidence presented at the hearing, all of which was uncontradicted, in the opinion of the Zoning Commissioner the relief requested sufficiently complies with the requirements of Section 307 of the Baltimore County Zoning Regulations (B.C.Z.R.) and, therefore, should be granted. There is no evidence in the record that the subject variance would adversely affect the health, safety, and/or general welfare of the public. Furthermore, strict compliance with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioner.

Pursuant to the advertisement, posting of the property, and public hearing on these Petitions held, and for the reasons given above, the relief requested in the special exception and variance should be granted.

THEREFORE, IT IS ORDERED by the Zoning Commissioner for Baltimore County this day of December, 1990 that the Petition for Special Exception for a Class "B" office building on the subject property and a variance to permit a landscape buffer of 12 feet in lieu of the required 20 feet for a property line abutting a residentially zoned property, and 8 feet in lieu of the required 10 feet for a non-residential buffer, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject, however, to the following restricitons which are conditions precedent to the relief granted:

1) The Petitioner may apply for his building permit and be granted same upon receipt of this Order; however, Petitioner is hereby made aware that proceeding at this time is at his own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the Petitioner would be required to return, and be responsible for returning, said property to its original

2) Petitioner shall comply with all conditions and requirements set forth in the comments submitted by the Office of Planning dated November 26, 1990.

3) All exterior lighting on the subject site shall comply with the specifications set forth in Petitioner's correspondence to the zoning Commissioner dated November 28, 1990, identified as Zoning Commissioner's Exhibit 1.

4) Medical offices and/or services shall make up not more than 25% of the maximum leasible office space in the subject facility.

5) The Petitioner shall provide a landscape plan to the Office of Current Planning for approval by the Baltimore County Landscape Planner. A copy of the approved plan shall be submitted to the Zoning Commissioner for approval and inclusion in the case file.

> Zoning Commissioner for Baltimore County

JRH:bjs

PETITION FOR SPECIAL EXCEPTION

91-123-XA TO THE ZONING COMMISSIONER OF BALTIMORE COUNTY: The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for A Class "B" office building - See previous Case No. 86-141X granting a special exception, now expired.

Property is to be posted and advertised as prescribed by Zoning Regulations. I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County. I/We do solemnly declare and affirm,

under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition. Legal Owner(s): Contract Purchaser BERNARD C. SCHISLER Crype or Print Name)

Chuslet HAP MWITT (Type or Print Name) Signature BERNARD C. SCHISLER D!

(Type or Print Name) City and State Attorney for Petitioner: 616 Main Street HAMMOND Reisterstown, MD 21136 Ship & flammore

Signature LLOYD J. HAMMOND Name, address and phone number of legal owner, con-616 Main Street tract purchaser or representative to be contacted Reisterstown, MD 21136 616 Main St., Reisterstown, MD 526-4680 Attorney's Telephone No.: 833-7576

ORDERED By The Zoning Commissioner of Baltimore County, this _____ of _____, 19.90_, that the subject matter of this petition be advertised, as required by the Zoning Law of Baltimore County, in two newspapers of general circulation throughout Baltimore County, that property be posted, and that the public hearing be had before the Zoning Commissioner of Baltimore County in Room 106, County Office Building in Towson, Baltimore

FILED 8/14/90 BY ULL IHR HEARING TIME DANY TIME OR DAY

Zoning Commissioner of Baltimore County

91-123-XA CERTIFICATE OF POSTING ZONING DEPARTMENT OF BALTIMORE COUNTY

District 4 th	Date of Posting Joseph 9. 1991. Store and Variance hisler on Road 225'S Chartley, Boulevard
Posted for: Spicial Grif	stive and Pariance
Petitioner: Bernard C. Sc	hister a comment
Location of property E/S Tensuration	en Poad 225'5 Chartley Buildward
605 Resolustion A	Pit + O 1 : 6 + 1
Location of Signs 4304 sull of	Reister town Road in front of
subject property	
Remarks:	Date of return Movember 14, 1990
Posted by Signature	

Baltimore County Zoning Commisioner County Office Building 111 West Chesapeake Avenue wson, Maryland 21204

Account: R-001-6150

H9100051

PUBLIC HEARING FEES 020 -ZONING VARIANCE (OTHER)

050 -SPECIAL EXCEPTION TOTAL: \$350.00 LAST NAME OF OWNER: SCHISLER

> 04AD4#000AMICHRC BA COOZ:28PMO8-14-90 Please make checks payable to: Baltimore County NEXT BUSINESS DAY

CERTIFICATE OF PUBLICATION Pikesville, Md., 10//U THIS IS TO CERTIFY, that the annexed advertisement was published in the NORTHWEST STAR, a weekly newspaper published in Pikesville, Baltimore County, Maryland before the (16) the first publication appearing on the 10th day of the second publication appearing on the ----day of the third publication appearing on the

Cost of Advertisement

Paul Loo P.E.

Paul Lee Engineering Inc. 304 W. Ponnsylvania Avo. Jowson, Maryland 21204 821-5941 DESCRIPTION

#605 Reisterstown Road - 1.309 Acre Parcel 4th Election District Baltimore County, Maryland

Beginning for the same at a point, said point being located on the east side of Reisterstown Road 225 feet plus or minus from the center of Chartley Boulevard; thence leaving said east side of Reisterstown Road the three following courses and distances:

> (1) N 45⁰33'35" E - 331.00 feet (2) S 43⁰40'25" E - 173.25 feet (3) S 45⁰46 30" W - 329.73 feet

to the east side of Reisterstown Road, thence binding on the east side of Reisterstown Road (4) N 44°05'25" W to the point of beginning.



Z.C.O.—No. 1

FOR RENT-Spacious, l, separate entrance, full use om. \$60/week. 358-3726. ISHED ROOM—All utilities

ded. Private cable TV, tchen privileges. 655-7582. HELP WANTED

PAID AT HOME—Up to \$455 kly. Pleasant, respectable. pare mail for successful nesses. 1-900-990-6090 ext. 811 95 per minute)

OCTOR'S OFFICE—N.W. Balto. -35 hrs. Will train. Call 358-7599. OVERNMENT JOBS-\$16,412-9.932/yr. Now Hiring. Your area. 1 1-805-687-6000, ext. R-7952 VANTED: Grocery Checker-Cashiers, Harry Kessler (Owner/Agent) art time) and full or part time night 653-0085 ock clerks. Good pay-experience

r. Spiller, 653-9670. use help, drivers, mechanics, itors, security guards, receponist, appointment setters, cretaries and file clerks (will train) 15.00 phone fee.

CAB DRIVERS WANTED, Over 25 Pikesville area. Full or part time. days or nights & weekends. 486-4004. WORK FROM HOME-\$60 per 100 preparing mail. Information send stamp to K.S. Enterprises, P.O. Box 5157-XLC Hillside NJ 07205.

ADVERTISING SALES—N.W. area weekly, high commission, experience preferred but will train. Call 653-3800. INTELLIGENCE JOBS-CIA, US Customs, DEA, etc. Now Hiring. Call (1) 805-687-6000 Ext. K-7952.

TRUCK DRIVER/WAREHOUSE-MAN-For furniture store. Bring driving record. Apply 4915 Reist. STAY HOME-Make \$325 weekly, helping local businesses with overflow clerical work. Part-time. No experience. Get paid daily. To apply, send long self-addressed Lake Forest #338-811, Laguna Hills,

HELP W UPHOLSTERER'S LPER-Must be reliable. Will train if necessary. Apply in person, 4915 Reist, Rd.

CHILD CARE ELDERY & CHILD CARE-Best Nanny Employment Agency offers live ins, live outs for elderly & child Classical, Pop, Jazz. Beginners care. Housekeeping & cooking inwelcome. Pikesville. 653-9072.

AUTOMOTIVE ITALIAN, Etc. by native teachers. 9 WE BUY most junk cars and trucks. a.m.-9 p.m. Academy of Languages, 2027 Maryland Ave. 685-8383. LEGAL NOTICE

EASY WORK! Excellent p

Assemble products at home. Call

information. 1-504-641-8003, ext.

Baltimore County Zoning Commissioner Office of Planning & Zoning Towson, Maryland 21204

NOTICE OF HEARING

County, by authority of the Zoning Act and Regulations of Baltimore County will hold a

public hearing on the property identified herein in Room 106 of the County Office Building

Petitioner(s): Bernard C. Schisler HEARING: TUESDAY, NOVEMBER 27, 1990 at

Special Exception: A Class B: Office Building

J ROBERT HAINES

Variance: To permit a 12 ft, and 8 ft, landscape

The Zoning Commissioner of Baltimore I

REAL ESTATE Open House Sun., 2-4 Willow Glen South 9 Leafydale Ct.-4 Br, 21/2 ba., Irg. FR, abundant storage. Outstanding condition.

Variance
CASE NUMBER: 91-123-XA
E/S Reisterstown Road, 225' S. Chartley Fiola Blum, Inc. ● 484-4800 ● EHO Boulevard 505 Reisterstown Road 4th Election District—3rd Councilmanic FOR SALE at affordable prices. All sizes, small buter in lieu of the required 20 ft. (properly lis and large. Sale going on now. Call

COMPLETE BEDROOM SUITE-Also dining room suite and odds & OWNER'S SALE OWNER'S SALE

of worship.

OWNER'S SALE/CROSS COUNTRY AREA w/add'l cl. & storage basement. New kitchen appl. & cabinets. 1 BA + 2/2. Over 2200 sq. ft. Full security system. Central A/C.

Wood-paneled clubroom. Full size W/D, freezer. Carpeted LR,

DR, hall and steps. Hardwood floors. New concrete walks. Excellent move-in cond. Lg. wooded lot. Nr. schools & places

CALL 764-7691

10 October, 1990 / Northwest STAR / Page 13

CERTIFICATE OF PUBLICATION

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of ___i successive weeks, the first publication appearing on Oct 11, 1990

THE JEFFERSONIAN.

Cashier Validation:

Baltimore County Zoning Commisioner County Office Building 111 West Chesapeake Avenue Towson, Maryland 21204

LAST MAME OF OWNER: SCHISLER

11/21/90

NOTICE OF HEARING

The Zoning Commissioner of

Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a

public hearing on the property identified herein in Room 106 of the County Office Building, lo-cated at 111 W. Chesapeake Av-enue in Towson, Maryland 21204

Petition for Special Exception

Petition for Special Exception and Zoning Variance
Case number: 91-123-XA
E/S Reisterstown Road, 225'S Chartley Boulevard
605 Reisterstown Road
4th Election District
3rd Councilmanic
Petitioner(s):
Bernard C. Schisler
Hearing Date: Tupeday

Hearing Date: Tuesday, Nov. 27, 1990 at 9:30 a.m.

Special Exception: A Class "B" Office Building Variance: to permit a 12 ft. and 8 ft. landscape buffer in lieu of the required 20 ft. (properly line abuting a residentially zoned property) and required 10 ft. (non-residential)

J. ROBERT HAINES

Account: R-001-6150

985300441

PUBLIC HEARING FEES CBO -POSTING BIGNS / ADVERTISING 1 X = 8110.30 TOTAL: #110.30

> 04A0490054hICHRC BA CO09:12AM11-27-90

Please make checks payable to: Baltimore County

Baltimore County Zoning Commissioner Office of Planning & Zoning Towson, Maryland 21204 (301) 887-3353

> J. Robert Haines Zoning Commissioner

11-20-90

Dennis F. Rasmussen

Bernard C. Schilser 616 Main Street Reisterstown, Maryland 21136

> Petitions for Special Exception and Zoning Variane Case Number: 91-123-XA E/S Reisterstown Road, 225' S Chartley Boulevard

605 Reisterstown Road 4th Election District - 3rd Councilmanic Petitioner(s): Bernard C. Schisler HEARING: TUESDAY, NOVEMBER 27, 1990 at 9:30 a.m.

Dear Petitioner:

Please be advised that $\frac{110.30}{}$ is due for advertising and posting of the above captioned property.

THIS FEE MUST BE PAID AND THE ZONING SIGN & PUST SET(S) RETURNED ON THE DAY OF THE HEARING OR THE ORDER SHALL NOT ISSUE. DO NOT REMOVE THE SIGN & POST SET(S) FROM THE PROPERTY UNTIL THE DAY OF THE HEARING.

Please make your check payable to Baltimore County, Maryland. Bring the check and the sign & post set(s) to the Zoning Office, County Office Building, 111 W. Chesapeake Avenue, Room 113, Towson, Maryland fifteen (15) minutes before your hearing is scheduled to begin.

Be advised that should you fail to return the sign & post set(s), there will be an additional \$50.00 added to the above amount for each such set not returned.

cc: Lloyd J. Hammond, Esq.

Baltimore County Zoning Commissioner Office of Planning & Zoning Towson, Maryland 21204 (301) 887-3353 J. Robert Haines Zoning Commissioner



September 28,1990

NOTICE OF REASSIGNMENT

91-123-XA CASE NUMBER(S): PETITIONER(S):

Bernard C. Schisler E/S Reisterstown Road, 225' S Chartley Blvd. 605 Reisterstown Road

THE ABOVE MATTER HAS BEEN REASSIGNED. HEARING WILL NOW TAKE PLACE AS

TUESDAY, NOVEMBER 27, 1990 at 9:30 a.m.

IN THE BALTIMORE COUNTY OFFICE BUILDING, 111 W. CHESAPEAKE AVENUE, ROOM 106, TOWSON, MARYLAND 21204.

J. Robert Spriness

BALTIMORE COUNTY

cc: Bernard C. Schilser Lloyd J. Hammond, Esq.

Baltimore County Zoning Commissioner Office of Planning & Zoning Towson, Maryland 21204 (301) 887-3353 J. Robert Haines

September 25, 1990



NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing on the property identified herein in Room 106 of the County Office Building, located at 111 W. Chesapeake Avenue in Towson, Maryland 21204 as follows:

> Patitions for Special Exception and Zoning Variance CASE NUMBER: 91-123-XA E/S Reisterstown Road, 225' 5 Chartley Boulevard 605 Reisterstown Road 4th Election District - 3rd Councilmanic Petitioner(s): Bernard C. Schisler HEARING: THURSDAY, NOVEMBER 8, 1990 at 9:30 a.m.

Special Exception: A Class "B: Office Building

Variance: To permit a 12 ft. and 8 ft. landscape buffer in lieu of the required 20 ft. (property line abutting a residentially zoned property) and required 10 ft. (non-residential buffer) landscape buffer (a variance of 8 ft. and 2 ft.).

> Zoning Commissioner of Baltimore County

Baltimore County Zoning Commissioner Office of Planning & Zoning Towson, Maryland 21204 (301) 887-3353 J. Robert Haines

November 14, 1990



616 Main Street Reisterstown, MD 21136

RE: Item No. 61, Case No. 91-123-XA

Petitioner: Bernard C. Schisler Petition for Zoning Variance

Dear Mr. Hammond:

LLoyd J. Hammond, Esquire

The Zoning Plans Advisory Committee has reviewed the plans submitted with the above referenced petition. The following comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties are made aware of plans or problems with regard to the development plans that may have a bearing on this case. Director of Planning may file a written report with the Zoning Commissioner with recommendations as to the suitability of the requested zoning.

Enclosed are all comments submitted from the members of the Committee at this time that offer or request information on your petition. If similar comments from the remaining members are received, I will forward them to you. Otherwise, any comment that is not informative will be placed in the hearing file. This petition was accepted for filing on the date of the enclosed filing certificate and a hearing scheduled accordingly.

IT WOULD BE APPRECIATED IF YOU WOULD RETURN YOUR WRITTEN COMMENTS TO MY OFFICE, ATTENTION JULIE WINIARSKI. IF YOU HAVE ANY QUESTIONS REGARDING THIS, PLEASE CONTACT HER AT 887-3391.

> Very truly yours, JAMES E. DYER Chairman Zoning Plans Advisory Committee

Enclosures

cc: Mr. Bernard C. Schisler 616 Main Street Reisterstown, MD 21136

Baltimore County Zoning Commissioner Office of Planning & Zoning Towson, Maryland 21204 (301) 887-3353 J. Robert Haines Zoning Commissioner



Dennis F. Rasmussen

Your petition has been received and accepted for filing this 5th day of September, 1990.

Zoning Plans Advisory Committee

Petitioner: Bernard C. Schisler Petitioner's Attorney: LLoyd J. Hammond

Baltimore County Department of Public Works Bureau of Traffic Engineering Courts Building, Suite 405 Towson, Maryland 21204 (301) 887-3554

October 2, 1990



Mr. J. Robert Haines Zoning Commissioner County Office Building Towson, Maryland 21204

Dear Mr. Haines:

The Bureau of Traffic Engineering has no comments for items number 55, 57, 59, 61, 62, 63, 65, 66, 68, and 69.

> Very truly yours, Fredray S. Floring Michael S. Flanigan Traffic Engineer Associate II

Bernard C. Schisler Lloyd J. Hammond, Esq.

Office of Planning and Zoning County Office Building Towson, Maryland 21204 Zoning Item 1 6/, Zoning Advisory Committee Meeting of September 4, 1990 Property Owner: Bernard C. Schisler Location: 605 Reisterstown Road () Prior to approval of a Building Permit for construction, renovation and/or installation of equipment for any existing or proposed food service facility, complete plans and specifications must be submitted to the Plans Review Section, Bureau of Regional Community Services, for final review and approval. (V) Prior to new installation(s) of fuel burning equipment, the owner shall contact the Bureau of Air Quality Management, 887-3775, to obtain requirements for such installation(s) before work begins. () A permit to construct from the Bureau of Quality Management is required for such items as spray paint processes, underground gasoline storage tank(s) (5,000 gallons or more) and any other equipment of process which exhausts into the atmosphere. () A permit to construct from the Bureau of Air Quality Management is required for any charbroiler generation which has a total cooking surface area of five (5) square feet or more. () Prior to approval of a Fuilding Permit Application for renovations to existing or construction of new \ health care facilities, complete plans and specifications of the building, food service area and type of equipment to be used for the food service operation must be submitted to the Plans Review and Approval Section, Division of Engineering and Maintenance, State Department of Health and Mental Hygiene for review and approval. () Prior to any new construction or substantial alteration of public swimming pool, wading pool, bathhouse, saunas, whirlpools, hot tubs, water and severage facilities or other appurtenances pertaining to health and safety; two (2) copies of plans and specifications must be submitted to the Baltimore County Department of Environmental Protection and Resource Management for review and approval. For more complete information contact the Water Quality Monitoring Section, Bureau of Regional Community Services, 687-6500 x 315. () Prior to approval for a nursery school, owner or applicant must comply with all Baltimore County regulation For more complete information, contact the Division of Maternal and Child Health. () If lubrication work and oil changes are performed at this location, the method providing for the elimination of waste oil must be in accordance with the State Department of the Environment. () Prior to razing of existing structure(s), petitioner must contact the Division of Waste Management at 887-3745, regarding removal and/or disposal of potentially hazardous materials and solid wastes. Petitioner must contact the Bureau of Air Quality Management regarding removal of asbestoes, 887-3775. () Any abandoned underground storage tanks containing gasoline, waste oil, solvents, etc., must have the contents removed by a licensed hauler and tank removed from the property or properly backfilled. Prior to removal or abandonment, owner must contact the Division of Waste Management at 887-3745. () Soil percolation tests, have been ____, must be ____, conducted. () The results are valid until ______.
 () Soil percolation test results have expired. Petitioner should contact the Division of Water and Sewer to determine whether additional tests are required. (). Where water wells are to be used as a source of water supply, a well meeting the minimum Baltimore County Standards must be drilled. () In accordance with Section 13-117 of the Baltimore County Code, the water well yield test () shall be valid until

() is not acceptable and must be retested. This must be accomplished prior to conveyance of property and approval of Building Permit Applications. () Prior to occupancy approval, the potability of the water supply must be verified by collection of bacteriological and chemical water samples. () If submission of plans to the County Review Group is required, a Hydrogeological Study and an Environmental Effects Report must be submitted. For more information contact the Division of Environmental Management. () In order to subdivide this property, the owner or developer will be required to comply with the subdivision regulations of the State of Maryland and Baltimore County. If there are any questions regarding the subdivision process, please contact the Land Development Section at 887-2762. () Others _____ Baltimore County Government Zoning Commissioner Office of Planning and Zoning 111 West Chesapeake Avenue Towson, MD 21204 December 21, 1990 Lloyd J. Hammond, Esquire 616 Main Street Reisterstown, Maryland 21136 RE: PETITIONS FOR SPECIAL EXCEPTION AND ZONING VARIANCE E/S Reisterstown Road, 225' S of Chartley Road (605 Reisterstown Road) 4th Election District - 3rd Councilmanic District Bernard C. Schisler - Petitioner Case No. 91-123-XA Dear Mr. Schisler: Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petitions for Special Exception and Zoning Variance has been granted in accordance with the attached Order. In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact Ms. Charlotte Radcliffe at 887-3391. Very truly yours, J. Robert Haines b. ROBERT HAINES Joning Commissioner for Baltimore County cc: People's Counsel

BALTIMORE COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT

Zoning Commissioner

Baltimore County Fire Department 700 East Joppa Road, Suite 901 Towson, Maryland 21204-5500 (301) 887-4500 Paul H. Reincke J. Robert Haines Zoning Commissioner Office of Planning and Zoning Baltimore County Office Building Towson, MD 21204 BERNARD C. SCHISLER RE: Property Owner: #605 REISTERSTOWN ROAD Location: Zoning Agenda: SEPTEMBER 4, 1990 Item No.: 61 Gentlemen: Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property. 5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1988 edition prior to occupancy. CHAPTER 26 Special Inspection Division

JK/KEK

SEPTEMBER 6, 1990

Dennis F. Rasmussen

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

J. Robert Haines Zoning Commissioner DATE: October 10, 1990

Fire Prevention Bureau

Pat Keller, Deputy Director Office of Planning and Zoning

SUBJECT: Bernard C. Schisler, Item No. 61

The Petitioner requests a Special Exception for a Class "B" office building. (See previous Case No. 86-141X granting a special exception, now expired; and a variance to permit a 12 ft. and 8 ft. landscape buffer.)

In reference to this request, staff offers the following comments:

- The Petitioner's proposal originally received CRG approval on July 18, 1985. While a revised amended plan was approved on June 8, 1988, CRG approval expired on July 18, 1988. Consequently, the current proposal for this site will require a CRG hearing or waiver.

- The proposal is also subject to Section 22-104 of the Development Regulations and Section 203.3 of the B.C.Z.R. as modified by Bill No. 151-88, which was enacted some time after the property originally received CRG approval.

This site represents an opportunity to bring improved design quality to this part of Reisterstown Road. Particular attention should be given to the architectural, landscaping, sign, and lighting treatment of the property.

- Staff believes that every effort should be to increase the area of landscape treatment along Reisterstown Road, even if such treatment would result in the reduction of open space within the interior portions of the site.

- Prior to the issuance of any building permits, the Petitioner shall submit elevation drawings and a landscape plan to the deputy director of the Office of Planning and Zoning.

BALTIMORE COUNTY, MARYLAND INTER-OFFICE CORRESPONDENCE

September 11, 1990

J. ROBERT HAINES, ZONING COMMISSONER, DEPARTMENT ZONING

CHARLES E. BURNHAM, PLANS REVIEW CHIEF, DEPARTMENT OF PERMITS & LICENSES CS

ZONING ITEM #: 61 PROPERTY OWNER: Bernard C Schisler

> LOCATION: E/S Reisterstown Road, 225' S Chartley Boulevard (#605 Reisterstown Road) ELECTION DISTRICT: 4th COUNCILMANIC DISTRICT: 3rd

A REVIEW OF THE SITE PLAN FOR THE ABOVE ZONING ITEM INDICATES THE FOLLOWING:

() PROPOSED SITE PLAN DOES, DOES NOT, COMPLY TO STATE CODE OF MARYLAND REGULATION 05.01.07, MARYLAND BUILDING CODE FOR THE HANDICAPPED.

() PARKING LOCATION () NUMBER PARKING SPACES

() RAMPS (degree slope) (X) CURB CUTS (⋈) SIGNAGE

If there should be any further questions or if this office can

provide additional information, please contact Jeffrey Long in the

() BUILDING ACCESS () PLAN DOES, DOES NOT COMPLY TO SET BACKS FOR EXTERIOR FIRE SEPARATION DISTANCE OF ARTICLE 5 AND ARTICLE 9 OF THE CURRENT BALTIMORE COUNTY BUILDING CODE.

A BUILDING PERMIT IS REQUIRED BEFORE ANY CONSTRUCTION CAN BEGIN. SECTION 111.1 OF ARTICLE 1. CONSTRUCTION DRAWINGS MAY BE REQUIRED.

() A CHANGE OF OCCUPANCY PERMIT IS REQUIRED TO CHANGE THE EXISTING USE OF THE STRUCTURE TO THE PROPOSED USE. SEE ARTICLE THREE AND ARTICLE ONE, SECTION 103.2 ALTERATIONS MAY BE NECESSARY BY CODE TO COMPLY TO NEW USE REQUIREMENTS.

() STRUCTURE IS SUBJECT TO FLOOD PLAIN LIMITATIONS, SECTION 516.0 COUNCIL BILL #158-88 (BALTIMORE COUNTY BUILDING CODE).

() OTHER -

SUBJECT:

PERMITS MAY BE APPLIED FOR @ ROOM 100, 111 WEST CHESAPEAKE AVENUE, TOWSON, MARYLAND 21204 - PHONE - 887-3900.

THIS REVIEW COVERS ONLY MAJOR ITEMS ASSOCIATED WITH THE SITE PLAN, A FULL REVIEW MAY BE CONDUCTED WHEN THE PERMIT APPLICATION AND PLANS ARE APPLICABLE CODE: 1987 NATIONAL BUILDING CODES AS ADOPTED BY COUNCIL BILL #158-85.

Bernard C. Schisler, Item No. 61

Office of Planning at 887-3211.

Page 2

PK/JL/cmm

ITEM61/ZAC1

October 10, 1990

BALTIMORE COUNTY, MARYLAND INTEROFFICE CORRESPONDENCE

TO: Zoning Advisory Committee DATE: August 30, 1990

FROM: Robert W. Bowling, P.E. Zoning Advisory Committee Meeting

for September 4, 1990

The Developers Engineering Division has reviewed the subject zoning items and we have no comments for Items 52, 55, 59, 60, 63, 65, 68, 69 and 70.

For Item 58, a County Peview Group Meeting is required.

For Items 45, 62 and 66, the previous County Review Group comments still apply.

For Item 57, the topography shows a pole at corner of drive that will interfere with widening. Half paving width of Sulphur Spring Road is 21 feet, right-of-way equals 30 feet (not shown on plan). Entrance apron to be 7-inch concrete on 4-inch CR-6, similar to Plate R-32.

For Item 61, a revised County Review Group Meeting is needed. Original County Review Group Meeting under "Chartley Building" was for one story office.

For 91-42-A, Nary and National Pank Reconstruction. we have no comments.

Developers Engineering Division

RWB:s

BALTIMORE COUNTY, MARYLAND

J. Robert Haines Zoning Commissioner

Pat Keller, Deputy Director

Office of Planning and Zoning

SUBJECT: Bernard C. Schisler, Item No. 61 REVISED COMMENTS

Staff has met with the applicant's engineer, Paul Lee. This office has requested that the Petitioner's plat be revised to indicate an enhanced landscape treatment along the front portion of the lot, which results in the elimination of eight parking spaces.

While amenity open space has been reduced within the parking area per this office's recommendation, the overall site design will function in a more appropriate fashion.

If there should be any further questions or if this office can provide additional information, please contact Jeffrey Long in the Office of Planning at 887-3211.

PK/JL/cmm

ITEM61.REV/ZAC1

INTER-OFFICE CORRESPONDENCE DATE: November 26, 1990 November 29, 1990

J. P. Bobart Baines,
Soning Commissioner
Baltimore County Office of Planning & Zoning
County Office Building
111 W. Chesapeaka Avenue
Towon, MD 21224

RE: Patitions for Special Exception and Zoning variance
Case Bo. 91-123-XA

Dear Commissioner Haines:

At your request, I am delivering a set of the architectural
drawings for the construction of the office building on the
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November 27, 1990

Ms. Bette J. Schuhmann
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For all-1/4

Restrations, Multimozitis
For all-1/4

Restrations, Multimozitis
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Restrations, Multimozitis
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For all-1/4

Restrationer: 91-123-XA
Petitioner: Bernard C. Schisler

Dear Ms. Schuhmann:

Enclosed is the receipt for advertising you requested in the above referenced matter.

Very truly yours,

Lloyd J. Rammond

LJH:sa
Enclosure

ZONING COMMISSIONER'S EXHIBIT #_ Where Promise and Performance Come Together 616 Main Street • P.O. Box 0749 • Reisterstown, MD 21136-0749 (301) 526-4680 • FAX (301) 526-4686 November 28, 1990 Baltimore County Zoning Commissioner Office of Planning & Zoning Towson, Maryland 21204 Attn: Mr. J. Robert Haines RE: Case No. 91-123-XA Dear Mr. Haines: In response to your questions regarding the a.) 162 foot length of building and b.) Exterior site lighting, we comment as follows: a.) 162 foot length of building: In discussions with our Architect and Leasing Agent, it was decided to use 20 foot column spacing (8 spaces at 20' plus 2' for end wall construction which equals the 162' Mr. Paul Lee indicates on his plat plan). We accepted the fact that the construction cost would be slightly higher but this spacing gave us more flexibility in leasing. b.) Exterior site lighting: We propose to use a 14' high pole light.
The lights will be directional down light 1/2 foot candle maintained.

Baltimore County
Page Two

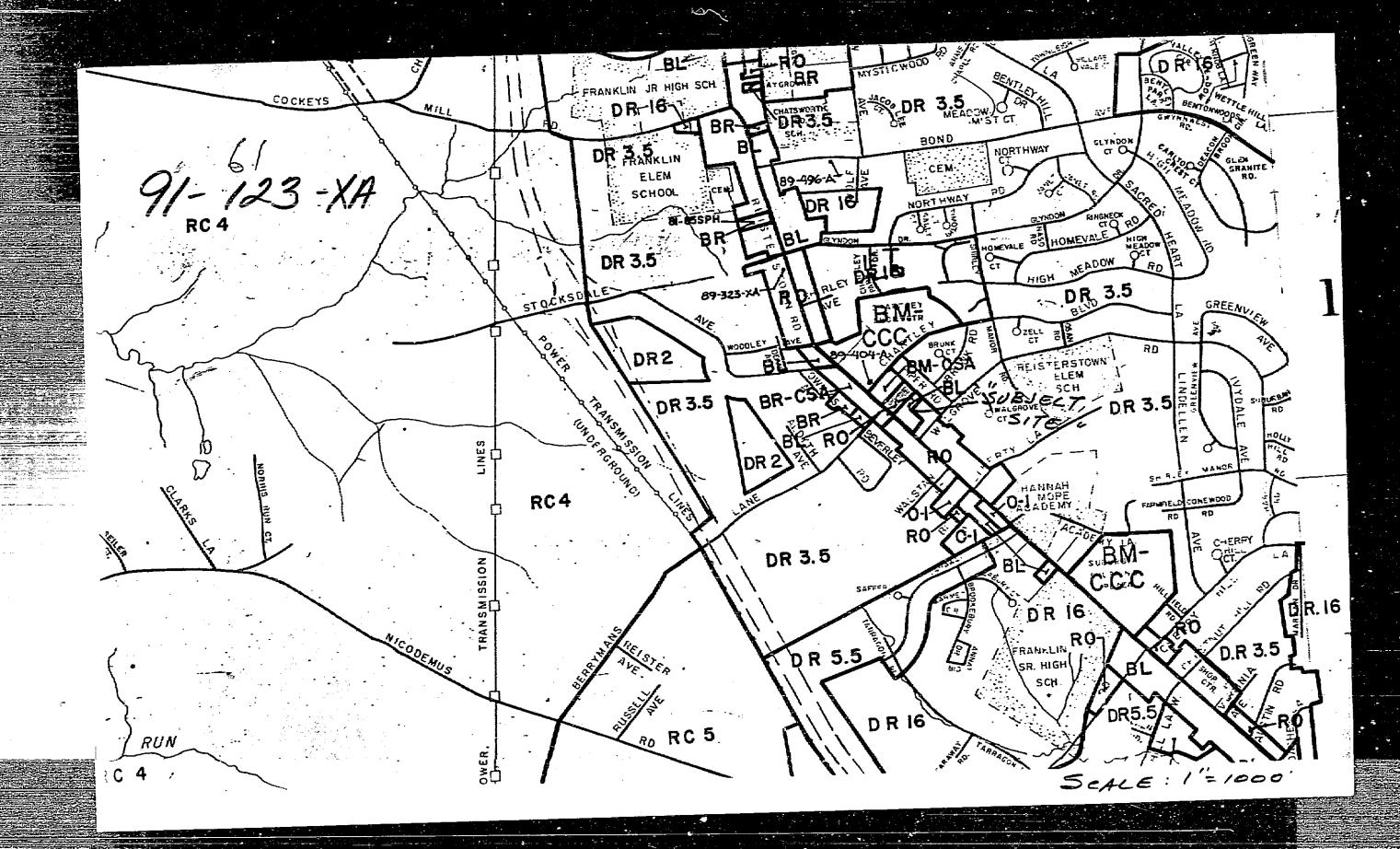
If you desize additional information, please do not hesitate to call.

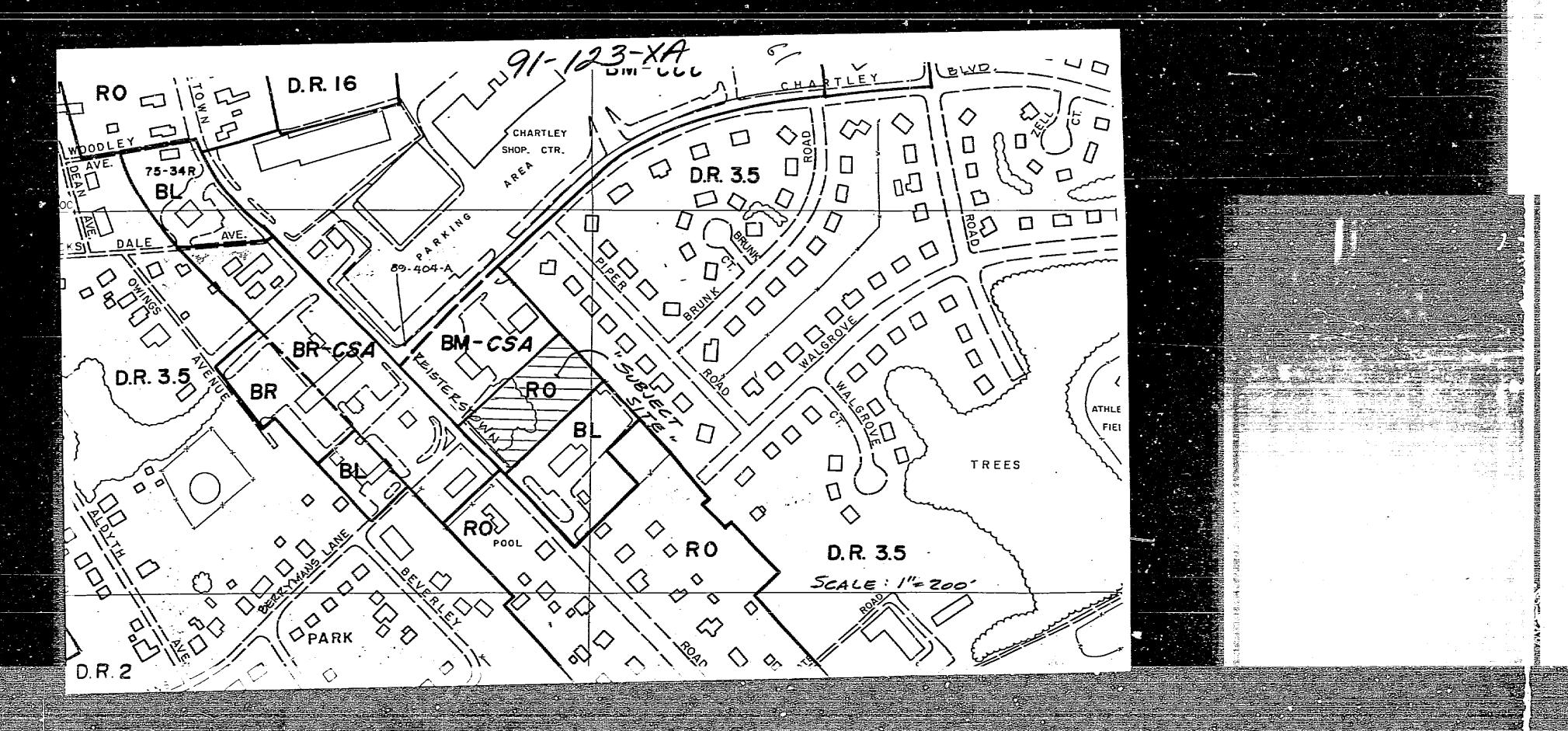
Sincerely,
CRAFT CONSTRUCTION INC.

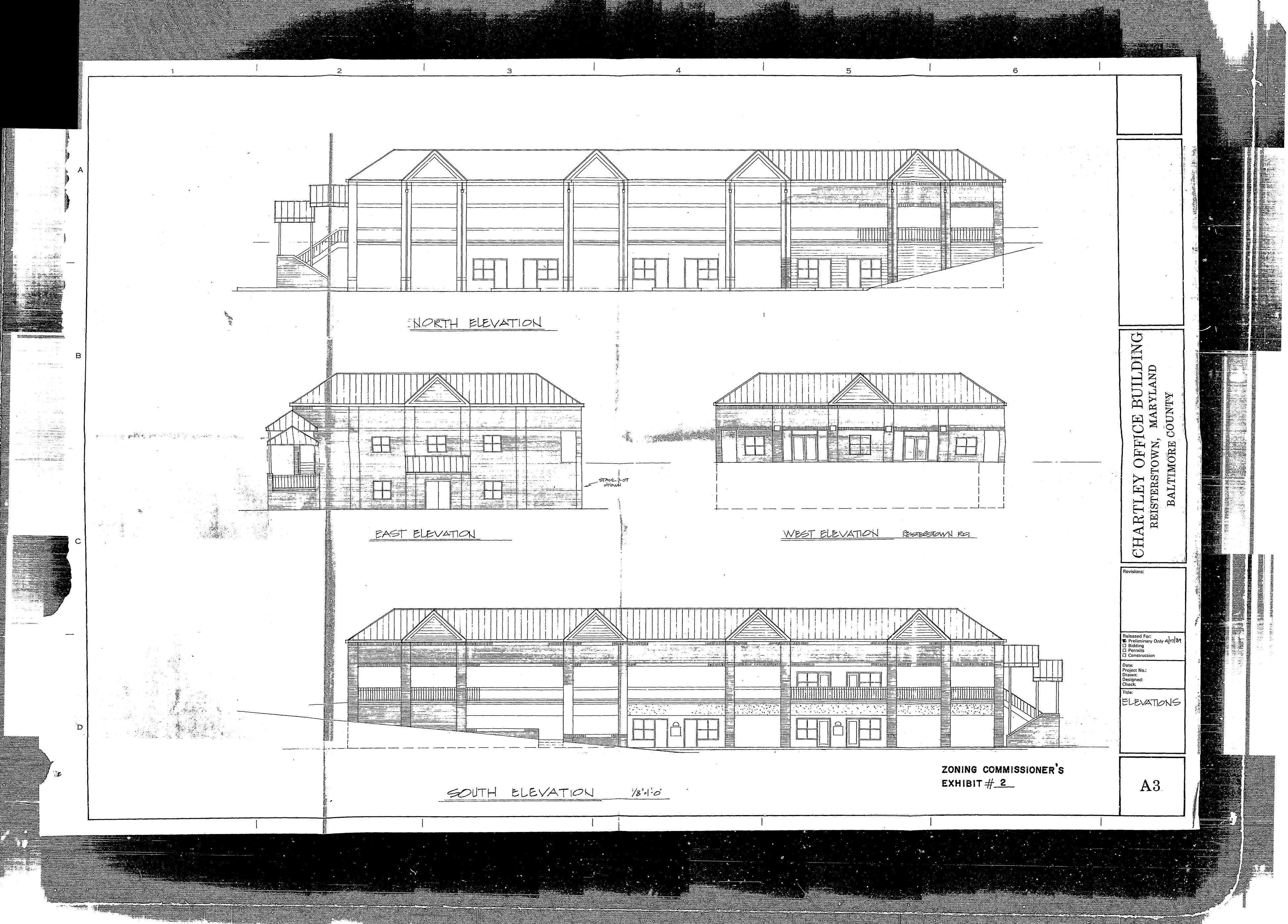
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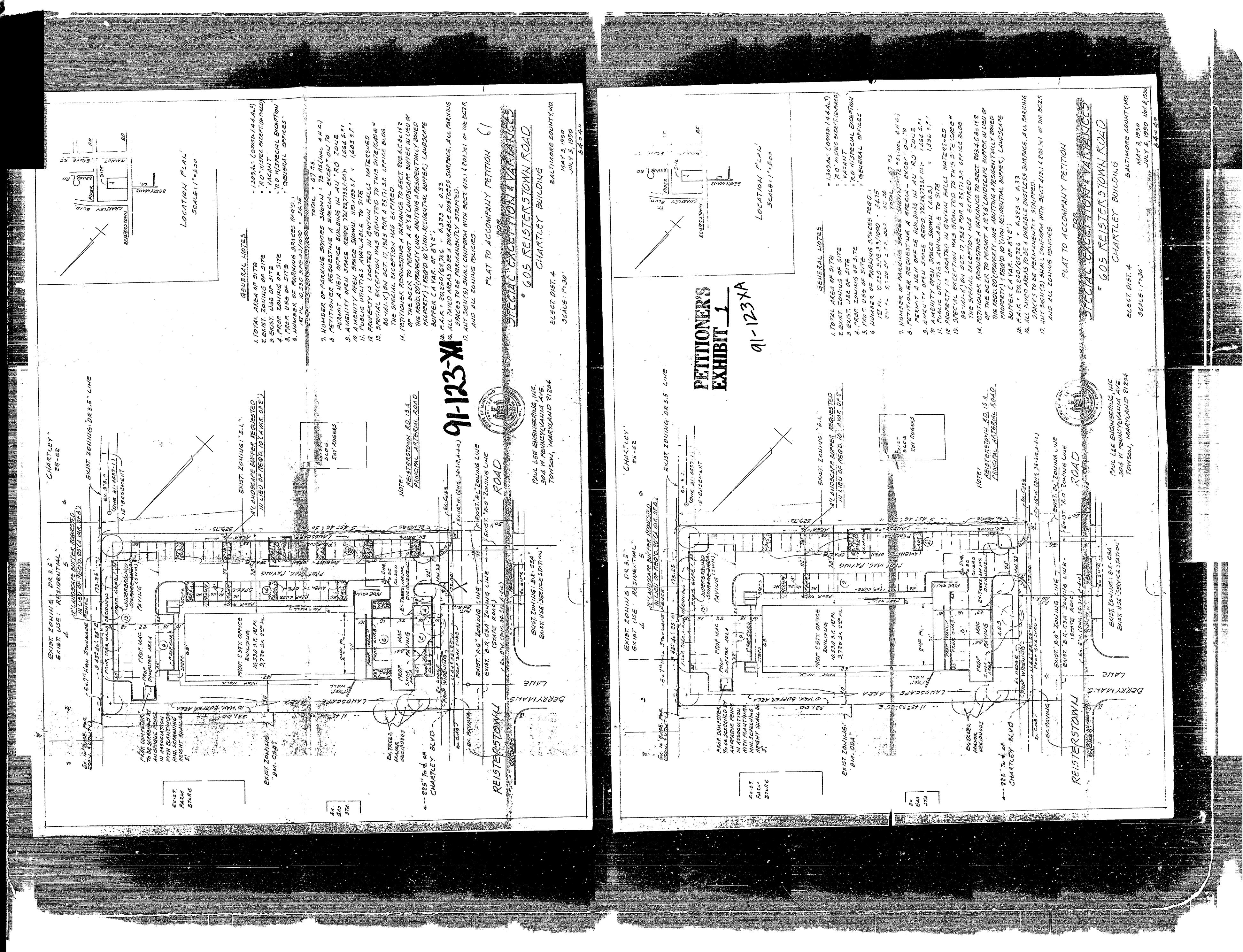
BCS:kms

cc: Lloyd J. Hammond, Esq.









GENERAL NOTES

- 1. THE DESIGN AND CONSTRUCTION DOCUMENTS HEREWITH HAVE BEEN PREPARED IN ACCORDANCE WITH THE 1987 EDITION OF THE B.O.C.A. BUILDING CODE. AMENDED, AND NFPA 101 LIFE SAFETY CODE. 1988 EDITION. THE PROVISIONS OF AIA DOCUMENT A-201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," 1987 EDITION, SHALL BE MADE PART OF THE CONTRACT.
- 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES, ORDINANCES, AND REGULATIONS.
- 3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS. CONTRACTOR(S) SHALL FOLLOW IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF THE LAW AT THE PLACE OF CONSTRUCTION. THE OWNER WILL OBTAIN THE GENERAL BUILDING PERMIT PRIOR TO
- THE GENERAL CONTRACTOR SHALL MAKE ARRANGEMENTS AND PAY FOR ALL TEMPORARY PHONE, ELECTRICAL, GAS OR OIL, AND WATER SERVICE TO THE DATE OF SUBSTANTIAL COMPLETION.
- 5. CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, SPECIFICATIONS, AND OTHER INFORMATION PREPARED BY THE ARCHITECT, AS TO FIGURES AND METHODS OF CONSTRUCTION, USING THEREIN THE SKILL AND EXPERIENCE FOR WHICH HE RECEIVES COMPENSATION UNDER THIS CONTRACT. HE SHALL IMMEDIATELY REPORT TO THE ARCHITECT FOR RECTIFICATION OF ANY ERROR, INCONSISTENCY, OR OMISSION THEREIN. FAILURE BY THE CONTRACTOR TO REPORT ANY EXCEPTIONS TO THE OWNER/ARCHITECT BEFORE THE CONTRACTS ARE SIGNED WILL IMPLY A COMPLETE ACCEPTANCE OF THE DESIGN AND ALL CONDITIONS OF THE CONTRACT AND SITE.
- CONSTRUCTION PRIOR TO COMMENCING ANY WORK, MATERIAL ORDERING, OR FABRICATION. ALL WORK SHALL BE FIRST CLASS TO THE ENTIRE SATISFACTION OF THE OWNER(S) AND ARCHITECT.

CONTRACTOR SHALL COORDINATE ALL WORK, ALL TRADES, AND SHALL VERIFY ALL DIMENSIONS, METHODS OF CONSTRUCTION, EXISTING CONDITIONS, AND PROPOSED NEW

- 7. CONTRACTOR SHALL NOT SCALE DRAWINGS AT ANY TIME. IF ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR(S), HE SHALL NOTIFY ARCHITECT.
- 8. UTILITIES ENCOUNTERED SHALL BE REPAIRED, IF BROKEN BY THE CONTRACTOR, AT HIS ENTIRE COST AND EXPENSE. THEREFORE, EXTREME CAUTION SHOULD BE EXERCISED WITH EXCAVATION.
- 9. CONTRACTOR SHALL PATCH OR REPAIR WITH NEW, AT ARCHITECT'S DISCRETION, ANY WORK DAMAGED OR DISTURBED AS A RESULT OF WORK PERFORMED BY CONTRACTOR.

CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE (1)

- YEAR FROM DATE OF FINAL OCCUPANCY CERTIFICATE. FULL RELEASE OF LIENS IS REQUIRED. CONTRACTOR SHALL PROVIDE ALL GUARANTEES AND WARRANTIES TO OWNER BEFORE FINAL PAYMENT.

 11. THE CONTRACTOR(S) SHALL MAKE ARRANGEMENTS WITH THE OWNER FOR STAGING/STORAGE AREAS REQUIRED AT THE SITE. ANY ADDITIONAL OFF-SITE
- STAGING/STORAGE AREAS REQUIRED AT THE SITE. ANY ADDITIONAL OFF-SITE REQUIRED STAGING AND STORAGE AREAS SHALL BE PROVIDED BY THE CONTRACTOR AT HIS DISCRETION AND AT NO ADDITIONAL COST TO THE OWNER. LOCATION AND SIZE OF ANY ADDITIONAL CONTRACTOR'S STAGING OR STORAGE AREAS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- 12. PREMISES SHALL ALWAYS REMAIN BROOM CLEAN. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM AREA, AND DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE OF MARYLAND CODES. ALL FEES FOR DUMPING SHALL BE INCLUDED IN BASE BID.
- 13. ALL OPENINGS, CONCRETE PADS, STEEL FRAMES, AND OTHER SUPPORTS AS REQUIRED BY SHALL BE VERIFIED BY CONTRACTOR.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY INSERTS, SLEEVES, CLIPS, ANCHORS, AND MISCELLANEOUS DEVICES AS MAY BE REQUIRED FOR CONSTRUCTION. DIMENSIONS AND LOCATION OF THESE ITEMS SHALL BE VERIFIED.
- 15. PROVIDE ALL NECESSARY WEATHERSTRIPPING, SEALANTS, HARDWARE, TRIM, AND HISCELLANEOUS ACCESSORIES TO COMPLETE JOB IN A FIRST CLASS WORKMANLIKE MANNER.
- 16. ALL PENETRATIONS THROUGH WALLS AND THROUGH FLOORS, ROOFS, ETC., WHICH ARE FIRE-RATED SHALL BE FIRE-STOPPED AND SEALED WITH FIRE-SAFING MATERIALS; THROUGH EXTERIOR WALLS/OTHER EXTERIOR SURFACES SHALL BE SEALED WITH NONHARDENING SEALANT APPROVED BY THE ARCHITECT.

TEMPORARY WORK AND CONSTRUCTION

- THE WORK UNDER THIS CONTRACT INCLUDES ALL NECESSARY TEMPORARY ITEMS REQUIRED IN GOOD, SAFE CONSTRUCTION PRACTICE AND ADMINISTRATION OF THE PROJECT.
- ALL TEMPORARY WORK, EXCEPT AS SPECIFICALLY STATED, SHALL BE REMOVED BY TIME OF FINAL ACCEPTANCE OF THE PROJECT.
- 3. PROTECTION OF WORK, STORAGE, AND TRANSPORTATION OF MATERIALS:
- A. ALL MATERIALS SHALL BE PROTECTED FROM MOISTURE. ALL STORAGE OF MATERIALS SHALL BE PLACES SO AS NOT TO CAUSE OVERLOADING OF STRUCTURE, AND LOCATION SHALL BE APPROVED BY OWNER.
- B. PROTECTING WORK IN PLACE: PROVIDE ALL NECESSARY PROTECTION OF COMPLETED WORK TO PREVENT ANY AND ALL DAMAGES.
- 4. CLEARING AND CLEANING UP: THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL RUBBISH, ALL OF HIS TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK COMPLETELY CLEAN.
- 5. SAFETY PRECAUTIONS:
 - A. NIGHT LIGHTING: PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY LIGHTING DEVICES AS MAY BE REQUIRED TO MARK HAZARDS AND OBSTRUCTIONS PROPERLY.
 - B. SIGNS OF WARNING SHALL BE PROVIDED IF NECESSARY TO DEFINE CLEARLY ANY AREAS OF DANGER.
- 6. LIFTING DEVICES FOR MATERIALS AND SCAFFOLDS: SUPPLY ALL LYFTS, HOISTS, ETC., FOR SAFE AND EFFICIENT MOVEMENT OF ALL MATERIALS. ALL SHALL BE PROVIDED WITH PROPER GUYS BRACING AND SAFETY DEVICES AS REQUIRED BY O.S.H.A. LAWS AND/OR GOOD PRACTICE. PROVIDE ALL SUBSTANTIALLY CONSTRUCTED SCAFFOLDS AT PROPER HEIGHTS AND OF APPROPRIATE STRENGTH AND SIZE TO ACCOMMODATE THE WORK OF THE VARIOUS TRADES.

CUTTING AND PATCHING

D

- 1. ALL CUTTING, REMOVAL, AND ALTERING REQUIRED FOR THE COMPLETE INSTALLATION OF THE SPECIFIED WORK SHALL BE PERFORMED BY THE CONTRACTOR.
- 2. EXISTING WORK SHALL BE CUT, DRILLED, ALTERED, REMOVED OR TEMPORARILY REMOVED, AND REPLACED AS NECESSARY. WORK THAT IS REPLACED SHALL MATCH ADJACENT SURFACES, OR SHALL NOT BE CUT OR ALTERED. WORK REMAINING IN PLACE, WHICH IS DAMAGED DURING THIS CONTRACT, SHALL BE RESTORED TO THE CONDITION EXISTING AT THE TIME OF AWARD OF CONTRACT.
- 3. CONTRACTOR SHALL REPAIR ALL AREAS/SURFACES DAMAGED AS A RESULT OF DEMOLITION

TENANT FINISHES

<u>Lighting</u> 2 x 4 - 4 tubes recessed fixture 1 fixture per 100 square feet of tenant area.

Ceiling 2 x 4 Acoustical tile ceiling & grid system

one hour rated (where required by code).

Electrical outlets Duplex outlets 16" A.F.F. one per 120 Square

Electric service 200 AMP panel box with breakers. All lighting wired to panel box. Emergency lights and exit

signs per Baltimore County Code.

Store Front Per construction drawings with 3 x 7 or 6 x 7

Toilet Room One handicapped toilet room including:

1 water closet
1 lavatory
1 light fixture

1 exhaust fan
1 hollow core door/with hardware
1 handicapped grasp bar
1 6 gallon hot water heater
Drywall taped and ready for paint

Finishes Floor -concrete slab ready for tenant finish Walls -taped and spackled - ready for paint

Ceiling ~2 x 4 lay~in acoustical tile

<u>Tenant Demising Wall</u> One hour rated-partition extending to the underside of the floor deck and sealed 3 5/8"

ceiling height.

Heating and Air Conditioning System sized it approximately 1 ton/400 square feet of tenant

metal studs at 24" o/c. Sound insulation to

area. I diffuser per 15 lineal feet of main trunkline. Air Handler and Condensate wird complete with thermostat.

OTES: Tenant to supply fire extinguishers

<u>HVAC System</u>

All of the above specification are subject to change where required by the Baltimore County Building Code.

CODE REVIEW

AREA TABULATIONS - (BOCA 1987)

1.	Building Classified:	Mercantile Assembly Business	M A-3 B
2.	Type of Construction 2C,	Noncombustible	Unprotected (401)
3.	Area permitted for each	occupancy (501)	
	a. M Mercantileb. A-3 Assemblyc. Business		8,400 Sq.Ft.

Worse Occupancy			
Perimeter Increase	.8,400	Sq.Ft.	(501)
	12,600	Sq.Ft.	(502.2

Max Area Actual Footprint of Building =	21,000 sq.Ft. 11,502 sq.Ft.
	rrysor og.re.

5. Max Building Allowable Height = (501)

a.	Assembly 30' F	řt.
	Mercantile 30' F	
c.	Business Stories - 40' F	٠t.
	Actual Building Height (mean hgt.)30' Ft.	٠.

6. Actual Building Area (Code)

4. Area Increase per code

First Floor		.10.530	Sa.Pt.
Second Floor (including	walks)	.11.502	Sa.Ft.
•		22,032	

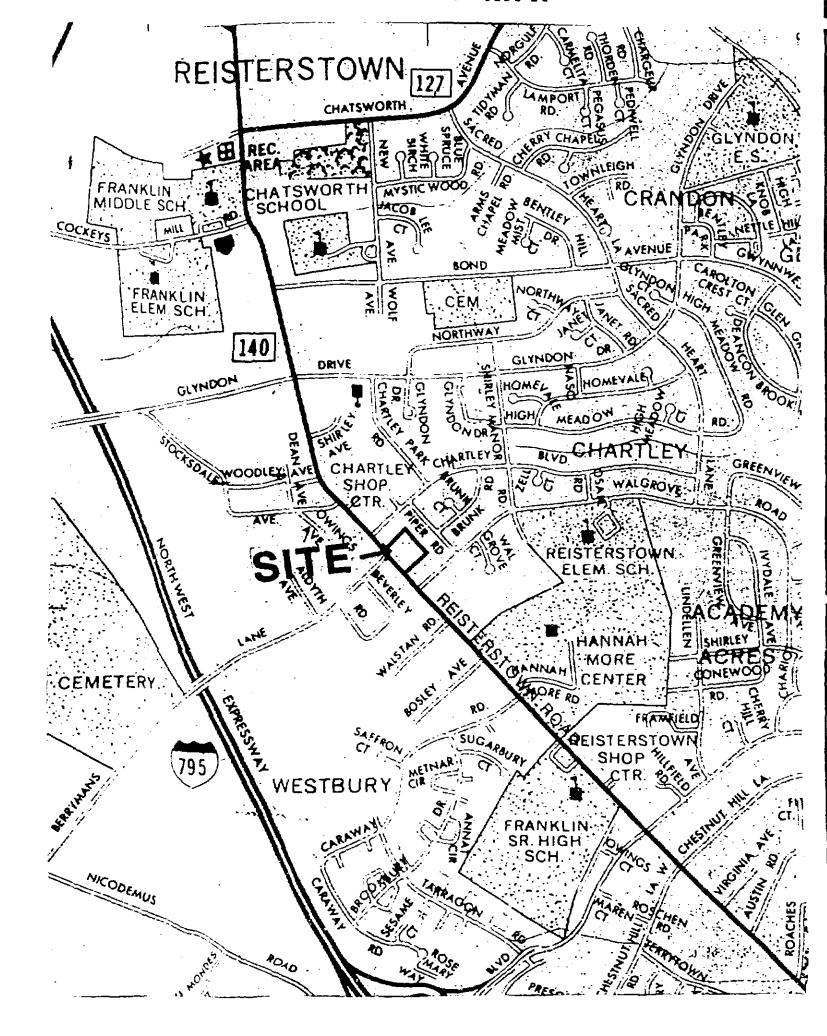
7. Leasable Floor Area (outside to outside)

First Floor	10,530	Sq.Ft.
Second Floor		
Total		

8. Maximum Occupant Load (806)

- 9. Length of Exit Access Travel (807), without fire suppression system = 200'.
- Each tenant space is to maintain a minimum of two exits per space (809.2).

VICINITY MAP



LIST OF DRAWINGS

ARCHITECTURAL.

C-S GENERAL NOTES - LOCATION MAP - CODE RATE - LIST OF DRAWING

- A-1 FIRST & SECOND FLOOR PLAN
- A-2 ROOF PLAN & DETAILS
- A-3 ELEVATIONS
- A-4 CROSS SECTION
- A-5 DETAIL & WALL SECTIONS

STRUCTURAL

- S-1 FOUNDATION PLAN
- S=2 SECOND FLOOR FRAMING PLAN
 S=3 RODF FRAMING & NOTES
- S-3 REEF FRANKING & N
- S-4 SECTIONS & DETAILS

MECHANICAL

M-1 HVAC PLAN & EQUIPMENT

ELECTRICA

E-1 ELECTRICAL PLAN

Released For:

Preliminary Only

Bidding
Permits

Construction

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Project No.:
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Revisions:

COVER SHEET, NOTES, LIST OF DRAWINGS & CODE REVIEW

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